

**ENCHANTED  
HILL**

**DESIGN GUIDELINES**

- The Declarant under the Master Declaration (defined below) hereby adopts these Enchanted Hill Design Guidelines to apply to the Residential Lots located in Enchanted Hill, which are subject to the Enchanted Hill Restrictive Covenants (defined below). The Architectural Review Committee, as defined under the Master Declaration (the “ARC”), along with the Declarant as defined under the Master Declaration during the Development Period, reserves the right to unilaterally amend these Enchanted Hill Design Guidelines from time to time.
- The ARC will **attempt to** review all submissions and provide written approval/denial within 10 working days of **a complete** submission. The applicant is required to submit a total package with all submission requirements in order for the submission to be reviewed.
- Reference to the Declaration of Master Covenants, Conditions and Restrictions for Castle Hills (the “Master Declaration”), Declaration of Covenants, Conditions and Restrictions for the Single Family Residential Area of Castle Hills (the “Residential Association Restrictions”), Declaration of Restrictive Covenants of Enchanted Hill (the “Enchanted Hill Restrictive Covenants”) and the **Castle Hills Single Family** Design Guidelines should be made for additional design information. Any capitalized terms not defined herein shall have the meanings ascribed to such terms in the Master Declaration, Residential Association Restrictions, the Enchanted Hill Restrictive Covenants or the Castle Hills Single Family Design Guidelines, as applicable.
- Governmental ordinances and regulations are applicable to all Residential Lots within Enchanted Hill. It is the responsibility of each Owner and builder to obtain all necessary permits and inspections to comply with all statutes, public laws, ordinances, policies, rules, regulations and orders of all federal, state, county and municipal governments or their agencies or any other entity having jurisdiction and control over Enchanted Hill, specifically including any applicable building codes, zoning restrictions, permits and ordinances. The Declarant and Master Association under the Master Declaration, the Declarant and Residential Association under the Residential Association Restrictions, the Developer and Association under the Enchanted Hill Restrictive Covenants and the ARC shall bear no responsibility for ensuring plans submitted to the ARC comply with any applicable building codes, zoning regulation and other government requirements. It is the responsibility of the Owner and builder to secure any required governmental approvals prior to construction on a Residential Lot.

## **FEES**

- The initial submission of any type of plan or plans to the ARC will be reviewed at no charge.
- Subsequent submittals and reviews will require the payment of a non-refundable deposit of \$1,800 for ARC review time and processing. If additional reviews are

required for a submittal an additional charge may be levied prior to the review continuing. If additional fees are required, the thirty (30) day review time limit shall be suspended for the duration of the delay.

- Upon final approval of all the architectural plans required in the Second Submission below and prior to the issuance of a building permit, the builder/homeowner shall pay to the Declarant under the Master Declaration a compliance fee in the amount of \$2,500.00 (the "Compliance Fee"). The Compliance Fee will be held in escrow by the Declarant under the Master Declaration. The fee will be used to pay for any non-compliance issues that may arise during construction of the home which is corrected by the Declarant under the Master Declaration, the Association under the Enchanted Hill Restrictive Covenants or the ARC and is charged by the Declarant under the Master Declaration to the Residential Lot. If the fund should be reduced to \$1,200.00 or less at any time during construction and prior to the issuance of a certificate of occupancy, the ARC or the Declarant under the Master Declaration can issue a stop work order until the fund is replenished to \$2,500.00. The Declarant under the Master Declaration may further adopt penalties for the stop work order. The Building Official will be copied on the Stop Work Order and no permit shall be issued or inspections conducted until the escrow is fully funded.

## **INSURANCE REQUIREMENTS**

- The Owner of the property shall obtain and maintain through the issuance of a Certificate of Occupancy, Builder's Risk Insurance with coverage equal to or greater than the project cost of the home and appurtenances.
- The builder must carry insurance for General Liability and Errors and Omissions in the minimum amount of the value of the home and appurtenances to be constructed on the Residential Lot or a minimum primary level of \$1,000,000.00 plus an Umbrella policy that totals the total value of the home and appurtenances to be constructed on the Residential Lot plus 50%. Coverage shall be maintained until after receipt of the Certificate of Occupancy.
- Design professionals must provide an insurance certificate evidencing coverage of a minimum amount of \$1,000,000 for General Liability and Errors and Omissions. The design professionals shall maintain the coverages until a Certificate of Occupancy has been issued.
- Concurrent with the issuance of a Certificate of Occupancy, the builder shall provide the homeowner with a warranty policy that covers the home for two (2) years and the structural improvements for ten (10) years from the issuance of a Certificate of Occupancy. Notwithstanding the foregoing, the ARC will not be responsible for ensuring that the homeowner is provided with such warranty policy.

- Copies of insurance policies will be provided to the ARC and shall be setup to provide the ARC thirty (30) day notice of expiration or termination. If the insurance of any party expires the ARC may issue a Stop Work notice for the project, as determined in the ARC's sole discretion.

## **SUBMISSION REQUIREMENTS**

Castle Hills ARC  
 2520 King Arthur Blvd., Suite 200  
 Lewisville, Texas 75056  
 Phone—972-410-6556  
 E-Mail – [Eddie.Collins@Brightrealtyco.com](mailto:Eddie.Collins@Brightrealtyco.com)

All submittals shall be full-sized paper copies (30”X42” maximum) in triplicate and an electronic copy.

Homeowners or builders may submit all plans for approval at one (1) time if they so choose. However, many applicants wish to receive preliminary approval of their concepts prior to expending a large amount for full design and then be required to make changes. The ARC has established the following 3 stage submittal approval to accommodate the desire for preliminary and staggered approvals.

The following plans shall be sealed, signed and dated by the appropriate design professionals that are currently licensed to practice in the State of Texas. Each Owner and builder is responsible for ensuring that all of such applicant's representatives, including the applicant's architect, engineer, contractors, subcontractors, and their agents and employees, are aware of these Enchanted Hill Design Guidelines and all requirements imposed by the ARC as a condition of approval. **NEITHER THE DECLARANT OR MASTER ASSOCIATION UNDER THE MASTER DECLARATION, THE DECLARANT AND RESIDENTIAL ASSOCIATION UNDER THE RESIDENTIAL ASSOCIATION RESTRICTIONS, THE DEVELOPER AND ASSOCIATION UNDER THE ENCHANTED HILL RESTRICTIVE COVENANTS NOR THE ARC WILL BE LIABLE TO ANY OWNER, BUILDER OR ANY OTHER PERSON FOR ANY LOSS, DAMAGE OR INJURY ARISING OUT OF THE PERFORMANCE OF THE ARC.**

<b>PLAN(S)</b>	<b>Registered Professional</b>
Site Plans, grading plans and drainage plans	Civil Engineer
Architectural construction plans including floor plans, elevations, shade structure and other accessory buildings	Architect
Structural plans including foundation, frame, swimming pools, retaining walls	Structural Engineer

Soils reports or studies	Geotechnical Engineer
Landscape plans, fencing, sidewalks and other softscape and hardscape	Landscape Architect
Irrigation plans	Licensed Irrigator
Surveys - topographic and boundary	Land Surveyor
Exterior and landscape lighting	Licensed Electrician
Swimming Pools	Structural Engineer

1. **First Submission - Preliminary Plans:** Each and all sets of preliminary and final plans must show, or contain thereon, the respective names, addresses, email address and telephone numbers of the Owner, builder, and architect, as applicable. The ARC is authorized and empowered to consider, review, comment on and approve, conditionally approve or disapprove preliminary plans submitted in triplicate to assist the applicant in complying with the Master Declaration, the Residential Association Restrictions, Enchanted Hill Design Guidelines, the Enchanted Hill Restrictive Covenants or the Castle Hills Single Family Design Guidelines, as applicable and to assist in the completion of feasibility studies undertaken by such persons or entities. At a minimum, the preliminary plans shall state the architectural character (“Design Approach Statement”) stated below that the applicant is intending to emulate and include:
  - A. Site Plan (drawn to a scale of not less than 1" = 20'-0" with north arrow) with the following minimum information;
    - 1) Dimensional footprint of home
    - 2) All improvements including driveways, fences, pools, spas, shades structures and flat work
    - 3) All front, side and rear building lines and all easements
    - 4) Location of HVAC equipment, pool equipment and utility services
    - 5) Preliminary grading and drainage design information with finished floor elevations in reference to top of street curb elevation including all existing and proposed grade for the floor plans, property corners and spot elevations for drainage
    - 6) Location of all existing and proposed retaining walls with top and bottom elevations
    - 7) Show any and all adjacent existing improvements within fifteen feet (15') of a common property line.
  - B. Floor Plan(s) (drawn to a scale of not less than 1/8" = 1'-0");
    - 1) Include air conditioned square footage (“ACSF”)
    - 2) Include all window locations and specifications
  - C. All exterior elevations accurately and clearly indicating finish materials and roof pitch and roofing material (drawn to a scale of not less than 1/8" = 1'-0").

The ARC shall have the right to prescribe limitations concerning the time, effort, and expense likely to be involved in handling such matters. If the preliminary plans and specifications are approved or conditionally approved by the ARC, the applicant will be so advised in writing. If found not to be in compliance with these Enchanted Hill Design Guidelines, the Master Declaration, the Residential Association Restrictions, the Enchanted Hill Restrictive Covenants or the Castle Hills Single Family Design Guidelines, as applicable, the applicant will be so advised in writing with a statement and explanation of items found in noncompliance. If the ARC does not approve, conditionally approve, disapprove, or otherwise comment on such plans and specifications within thirty (30) days after the actual date of the received submission, the matters submitted shall be presumed to be disapproved.

2. **Second Submission - Final Plans:** Final plans, specifications and surveys shall be submitted in triplicate to the ARC for review within ninety (90) days after approval of the preliminary plans. At a minimum, this submittal must include:
  - A. Site Plan (drawn to a scale of not less than 1" = 20' 0") showing:
    - 1) Dimensioned footprint of all proposed structures on the Lot;
    - 2) All front, side and rear building lines and all easements;
    - 3) Any site improvements such as retaining or screening walls, swimming pools and equipment, fencing, driveways, sidewalks, etc.;
    - 4) Utility connections, electric and gas meter locations, mailbox location and A/C condensing unit locations;
    - 5) North arrow, Lot and Block numbers, street address.
  - B. Grading and Drainage Plan (drawn to a scale of not less than 1" = 20' -0") showing:
    - 1) Proposed finish floor elevation and top of street curb elevations at property corners and existing grade elevations at all property corners;
    - 2) Existing and proposed grades along all property lines with shared drainage, including top of wall and bottom of wall elevation of existing retaining walls;
    - 3) Existing grade contours and proposed Grading and Drainage plan with all proposed underground drainage piping;
    - 4) Proposed finish grade at all primary corners of the residence;
    - 5) Bottom and top elevation of proposed retaining walls
  - C. Floor Plan(s) (drawn to a scale of not less than 1/8" = 1'-0") with north arrow;
    - 1) Include ACSF and gross area under roof
    - 2) Include all window locations and window schedule with window details
    - 3) Include a structural superstructure design for outside framing, sheer walls

- and load bearing walls
- D. Roof Plan (drawn to a scale of not less than 1/8" = 1'-0") with north arrow showing:
    - 1) All roof pitches identified
    - 2) Roof material(s) identified with gutters and downspouts located, including location of underground drainage system.
    - 3) All chimneys, dormers and skylights
  - E. Exterior Elevations (drawn to a scale of not less than 1/8" = 1'-0") with roof pitch and all exterior materials accurately and clearly identified;
    - 1) Include plate heights, mid-point height of roof and total roof height
    - 2) Include all gutter and downspout locations;
    - 3) All ground floor elevations shall have minimum 10' plate line.
  - F. Submit a detailed list of the proposed exterior finish materials and color selections. In addition, if requested by the ARC, a minimum 6' x 6' mockup of all proposed exterior construction materials shall be constructed on the lot. The mockup shall represent all exterior materials and colors, including but not limited to brick, stone, stone pattern, mortar color, width of mortar joints, trim color, cast stone, window colors and roof material. The ARC shall approve all exterior materials and colors, including the combination of said materials.
  - G. A list of specifications for the construction and finish out of the home.
  - H. Structural foundation and framing plans
  - I. Exterior lighting design including specification sheets on all exterior lights;
  - J. Submit a 24" x 36" copy of front elevation and site plan.
3. **Third Submission - Additional Plans:** The following plans, specifications, surveys and other information, as applicable, shall be submitted in triplicate to the ARC for review within ninety (90) days after approval of the final plans submitted in connection with the Second Submission above. At a minimum, this submission must include:
- A. Landscape Plans (drawn at a scale of not less than 1/8" = 1'0") including size, type, location and quantity of plants and all tree species, size, and locations; location, height and material of proposed fencing or screening.
  - B. Location, height (top and bottom of wall elevations) and materials of existing and proposed retaining walls
  - C. Irrigation Plan
  - D. Exterior Lighting Plan including a cut sheet showing fixtures and bulb type and wattage
  - E. Swimming Pool Plan, and plans for any other exterior improvements associated with the Pool Plan

At such time as the plans, specifications and surveys meet the approval of the ARC, one complete set of plans, specifications and surveys will be retained by the ARC, and the other complete set will be marked "Approved" or "Conditionally Approved" and made available for pick up by the Applicant at a designated location. If found not to be in compliance with the applicable requirements, one set of such plans, specifications and surveys shall be marked "Disapproved", accompanied by a reasonable statement of items

found not to comply with the applicable requirements. Any modification or change to the approved set of plans, specifications and surveys must again be submitted to the ARC for its review and approval prior to construction. The ARC's approval or disapproval, as required herein, shall be in writing. The ARC may from time to time publish and promulgate additional architectural standards.

### **TRASH AND DEBRIS CONTROL**

Prior to commencement of any construction on a Residential Lot the Owner/builder shall place a roll-on trash bin or dumpster on the Residential Lot, outside of any easements, to contain all trash for the home construction. The dumpster will remain on the Residential Lot until final acceptance of the improvement. The dumpster shall be removed whenever debris is visible above the side of the dumpster for disposal of the contents and shall be returned immediately. The dumpster shall not be placed in the street or right-of-way. No temporary boxes, containers or fenced areas may be substituted for the dumpster and will not be allowed on the Residential Lot.

### **GEOTECHNICAL AND STRUCTURAL DESIGN, INSPECTION AND CERTIFICATION**

The Owner has received a copy of a Geotechnical Investigation HJA NO. 8210 prepared by Henley Johnston and Associates, Inc., dated May 24, 2006. All structural designs must address the recommendation of HJA No. 8210. At the discretion of the property owner they may commission a new soils investigation by a Geotechnical Engineer, approved in writing by the ARC, to update, refute or modify the findings in HJA No. 8210

HJA No. 8210 recommends the use of two (2) types of foundation based on the soils conditions.

- Option A is a design requiring that the slab be a structural member with twelve (12") inch void below the slab, beams with twelve (12") inch voids and the structural loads supported by piers.
- Option B is a slab-on-grade designed upon the Post Tension Institute guidelines. This Option B requires the modification of soils on the lot by removal and replacement of soil with select fill, moisturized soil; water injection and/or chemical injection. Such soil modification must be performed under guidance of a Geotechnical Engineer. The Geotechnical Engineer shall provide the Structural Engineer and the ARC a signed and sealed report certifying the soils modifications and the resulting structural design specification. Prior to the



pouring of a foundation a land Surveyor or the Structural Engineer shall perform a forms survey to verify the elevation of the future slab and its horizontal location. A copy of the survey will be provided to the ARC for its records.

- Foundations designed pursuant to Option A shall have the following inspections and certified reports by the Structural Engineer designing the foundation:
  1. Pier pre-pour inspection of the pier depth and diameter and placement of reinforcing steel;
  2. A pre-pour foundation inspection;
  3. A pour inspection including cylinders; and,
  4. Issue a stamped and signed report that records the inspections and tests for compliance with the design to the ARC for its records.
- Foundations design pursuant to Option B shall the following inspections and certified reports by the Structural Engineer designing the foundation:
  1. A pre-pour inspection of placement of steel and tendons, as well as, the depth and width of footers and beams;
  2. Observation of the elongation of the cables; and,
  3. Issue a stamped and signed report that records the inspections and tests for compliance with the design to the ARC for its records.
- Subsequent to the removal of the forms from the foundation pour and prior to the start of framing, the Structural Engineer or Surveyor will survey the locations and elevations of the major corners of the foundation and provide the stamped and signed foundation survey to the ARC for its records.
- During the framing of the superstructure, the Structural Engineer will make inspections to confirm compliance with the structural design. The Structural Engineer will provide a stamped and signed inspection report to the Building Official and ARC, for its records, prior to requesting a frame inspection by the Building Official.
- The Structural Engineer will inspect all structures on the Residential Lot in a similar manner and submit the reports to the ARC.
- The ARC requires that all of the design and construction reports be provided to the ARC so that the ARC can monitor all processes. The ARC will not review, approve or be responsible for the accuracy or adequacy of the design, work or reports of the design professional.

## **OVERALL ARCHITECTURAL CHARACTER**

The ARC will consider 5 basic “styles” in Enchanted Hills:

### **1. Mediterranean Villa**

- Grand entrances flanked by formal decorative pilasters, arches and balustrades
- Pediment fronts with external loggias
- Patios, courtyards, balconies and loggias replace the front porch
- Roofs are predominately low pitched, clay barrel style hipped roofs, deep overhangs with elaborate stone cornices, balustrades, and stone finials
- Fully bracketed roof gables
- Widely spaced colonnades
- Smooth stone on larger villas, plaster is common with limestone, ceramic tile and terra cotta for ornament
- Windows are typically smaller with square tops, round tops and delicate rounds or ovals arrange in formal style with large functioning shutters
- Grand balconies above elaborate classically detailed entries
- Parapets, twisted columns, pediments and arches

### **2. Spanish Hacienda**

- Vast ranch estates
- Many buildings connected by colonnades around a center courtyard
- Predominately one story with horizontal massing
- Typically, asymmetrical with cross gables and side wings
- Plaster walls with terra cotta or carved stone ornamentation
- Roofs are simple shaped, low pitched, clay barrel tile, mission tiles with broad overhangs supported by exposed timber rafters and purlins
- Heavy wrought iron window grills, functioning heavy wood shutters, balconies, deep set windows, semicircular arched windows and arcades

### **3. Italian Country Villa**

- Many buildings connected by colonnades around a central courtyard
- Roofs are low pitched, clay barrel tile, bracketed articulate soffits and eaves with overhangs
- Simple block shapes with terra cotta tiled roofs
- Square towers, turrets and campanili are major form elements
- The style, also, incorporates full, half rounded arches for windows, doors and colonnades and interspaced square-topped openings with full gables, arch and broken pediments
- Stone walls left natural or covered with a rough layer of stucco

- Vaulted ceilings and terra cotta tile floors
- Rustic simplicity
- Earth tone browns
- No harsh hues are used. Ochre browns of stucco palazzo and stone villas
- Wrought iron window grills and accents of painted shutters

#### 4. English Country/English Tudor

- Massing is rectilinear and forms are angular
- Roofs are moderately steep or moderate pitched with natural slate roofs
- Natural materials such as brick and stone
- Parapets and crenellation are common
- Windows are trimmed with stone rain caps and water tables
- Dovecotes, gable vents and functioning louvered shutters are accents for the large flat gables
- A relatively flat, four-centered arch is prototypical
- Asymmetrical building composition
- Brick in Flemish Bond or English Bond
- Exposed wood beams, heavily gabled roofs, massive chimneys, thin natural slate or clay flat tile roofs and half timbering

#### 5. French Country/French Norman

- Facades with ornamental brickwork, patterns produced by diapering and checker work
- Roofs are steep to extreme steep pitches with clay flat tiles with sweeping eaves and can incorporate large stone corbels and brackets
- Details in half timbering and noggin with carvings and masonry between the timbers
- Eclectic assemblage of patterns, colors and textures where the infill masonry was highly decorative
- Fragments of clay tiles, along with different colors and textures add to the displays of geometric and figurative motifs
- Arch-topped windows, articulated chimneys, functional shutters
- Upper floors are usually accommodated within the roof structure with the use of roof dormers and wall dormers

If a stucco design is planned, the colors must be in soft tones in shades of white, grey, tan, or cream with no heavy swirls and windows and door must be deeply inset. **No exterior designs of an “extreme” contemporary nature will be considered for construction in Enchanted Hill, as determined in the sole discretion of the ARC.**

The ARC reserves the right to deny any architectural submittal that will, in its sole and absolute discretion, be inconsistent with the surrounding designs of the

community.

## **BUILDING RESTRICTIONS:**

### **MINIMUM SQUARE FOOTAGE**

- No single story design in Enchanted Hill shall be less than 4,000 square feet of air-conditioned space.
- No two story design in the Enchanted Hill shall be less than 4,500 square feet of air-conditioned space.

### **SETBACKS**

Front yard	25 Feet
Porte cochere	20 Feet
Rear Yard	10 Feet
Side Yard	10 Feet
Pools, Gazebos, and other vertical construction, rear yard	10 Feet
Pools, Gazebos, and other vertical construction, side yard	10 Feet

Please refer to a plat for special rear setbacks that may apply to each lot individually. The more restrictive setback requirement of the plat or the table above shall be followed.

No pool or structure can be constructed in a utility easement.

### **MASONRY REQUIREMENTS**

- 100% masonry fireplaces – This requirement applies to the exterior finish. Metal fireboxes are permitted.
- 100% masonry on all elevations, with the exception of recessed porches and window treatments located on the side and rear elevations.
- Wooden detailing will be considered based on the Design Approach Statement and architectural style.
- Masonry shall be considered to be clay fired brick, natural stone and stucco.

- All masonry shall have a minimum flush  $\frac{3}{4}$ " mortar joint.
- All stucco shall be a three coat system with  $\frac{3}{4}$ " trowel finish, providing a smooth (but not totally uniform) texture with slight color variations for rustication.
- No E.I.F.S. is allowed except as specifically approved in writing by the ARC for banding and trim.
- No cementitious siding (i.e. Hardi board) may be used on any elevation in Enchanted Hill.

## **CHIMNEYS**

- Chimney must be masonry
- Direct vents will not be approved in lieu of a chimney unless there is an engineering reason that the ARC is in agreement with.
- Chimneys must correspond with the overall architectural character of the home.
- No metal chimney caps will be approved.
- No exposed spark arrester will be approved.

## **ROOFS**

- Composition roofs are permitted based on an acceptable color approved by the ARC. The minimum requirement is a Lifetime Warrantied architectural grade laminated roof with no proration of the warranty before fifteen (15) years. These will only be allowed on the steep or very steep roofs of the English Country/English Tudor or Country French/French Norman styles.
- Wood roofs are not allowed.
- Other roof materials such as clay tile or natural slate **may be** acceptable for certain architectural styles upon approval by the ARC. The minimum roof pitch allowed is 10:12. Flatter roof pitches may be accepted for portions of the roof structure that are not visible from the street, golf course or open space.

**Architectural designs that warrant flatter roof sections will be given consideration. However, if an architectural design includes roof pitch of less than 10:12, only clay barrel tile may be used for the roofing material.** Roofs with a lower pitch should also include additional design elements of the architectural character such as deeper eaves, exposed rafter tails, bracketing, etc. Roofs shall be fully guttered with downspouts. Downspouts visible from the street, golf course and open spaces shall be round.

## HEIGHT

- No building shall exceed 40 feet measured from the average finished ground level adjoining the building at all exterior walls to the highest roof ridge.

## GARAGES

- Whenever possible, garage doors should be placed at right angles to the front street, creating a motor court theme. Where this is not possible, doors facing the street must be located a minimum of 30 feet from the front building line and must be recessed from the front elevation a minimum of 24 inches. All garage doors visible from the street, golf course **or common areas** must be single bay doors with wood or clad with wood.
- Front entry or swing-in garages could, under certain circumstances, be considered on corner lots. Conceptual scale drawings **should** be submitted for preliminary approval prior to standard ARC submittal.

## WINDOW RESTRICTIONS

- All windows must be wood, vinyl clad wood, or aluminum clad wood.
- All windows shall correspond in appearance to the architectural style of the home, including but not limited to, such as divided light, size, shape, surrounds, etc.
- All windows visible from the street, golf course or open space must be divided light with external grills.
- All windows must have brick mold trim.
- Windows must comply with American Architectural Manufacturers Association/ Windows & Door Manufacturers Association/ Canadian Standards Association (“AAMA/WDMA/CSA”) Specifications 101/I.S.2A440-5, 101/I.S.2/A440-08 or 101/I.S.2/A440-11 “Standard Specification for windows, doors and unit skylights”, as amended by the latest edition, for Performance Class LC meeting or exceeding the following criteria as defined by the referenced specification (s):
  1. Minimum Performance Grade of 25;
  2. Minimum Design Pressure of 25.0 PSF/1200 Pa;

3. Minimum Structural Test Pressure of 37.5 PSF/1800 Pa; and,
4. Minimum Water Resistance Test Pressure of 3.75 PSF/180 Pa.

To be approved a schedule of all windows as related to the locations on the plans, specifying the manufacturer, the specific series of windows, a description of the window manufacturers' specifications conforming to the above requirements must be submitted to the Architectural Review Committee for approval.

### **DRAINAGE**

- The builder is required to coordinate both water surface drainage and underground drainage of improved lots with adjacent property owners, so as to ensure that there is no lot to lot drainage.
- The builder is required to coordinate with the Declarant under the Master Declaration the drainage from the rear and sides of lots adjacent to the common areas to prevent damages to the landscape and the improvements therein.
- No pool drainage is allowed to discharge into the common areas..

### **DRIVEWAYS**

All driveways are requires to , be finished in a stained concrete, exposed aggregate finish with brick borders, paverstones or other design approved by the ARC. The Owner/Builder must submit a scaled drawing, materials and colors.

### **SIDEWALKS**

- Sidewalks are required along both sides of Enchanted Hill's residential streets.
- The builder is responsible for sidewalks, including side-yards along streets.
- The sidewalks may extend out of the sidewalk easement if so desired with ARC approval, but must be within the sidewalk easement at each side property line.
- All sidewalks in public rights-of-way or easements must meet ADA requirements

### **WALLS AND FENCING**

The builder is required to install fences according to the Castle Hills Single Family Design Guidelines.

A plan submission indicating the fence type and location is required for approval to the ARC prior to the commencement of construction.

Only wrought iron, masonry fencing, and board on board cedar, will be considered for residences in Enchanted Hill.

Board on board cedar fencing shall be stained with the good side facing out. The fence shall have a dimensional cap, a fascia trim and metal posts wrapped in cedar.

Any wooden fence sections that adjoin a community street must also include

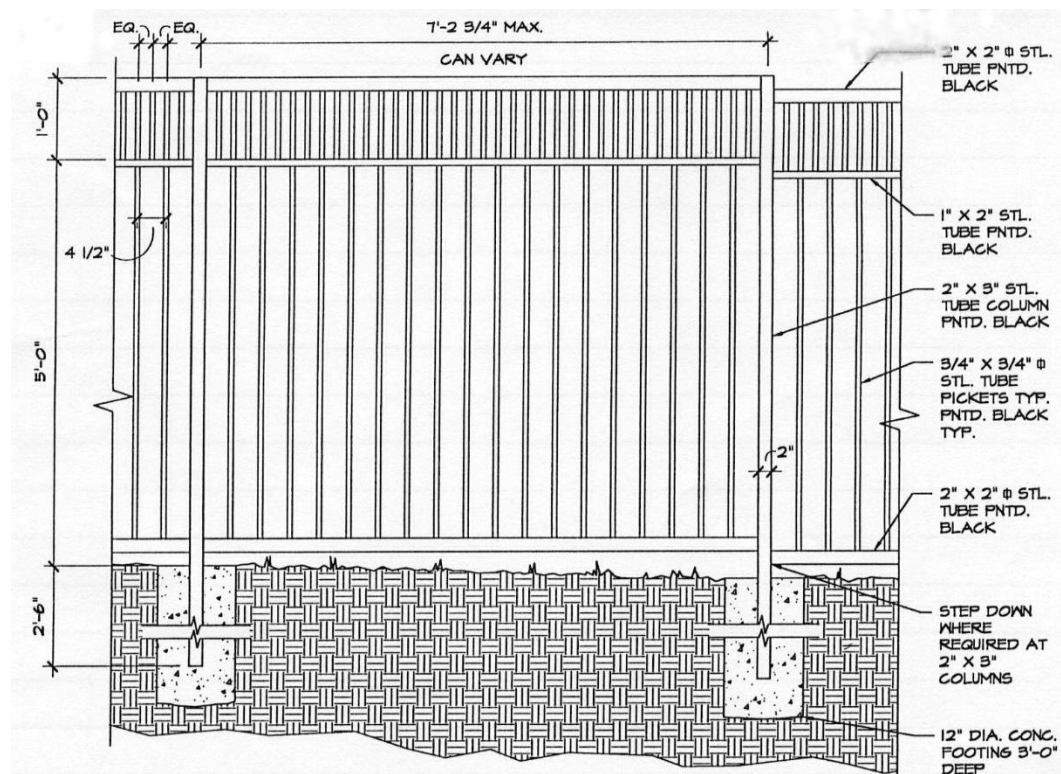
18" x18' masonry columns on max of 12 ft. centers and maximum height of 6'6". The masonry columns shall be designed by and stamped and signed by a Structural Engineer and approved by the ARC. The Structural Engineer shall inspect and provide photographic evidence of the piers, steel placement and column construction and Certify to the ARC that all work was done in conformance to the approve design.

All fences are considered to be common fencing between adjacent property owners.

### **SIX FOOT (6') HIGH WROUGHT IRON FENCING – REQUIRED INSTALLATION BY THE BUILDER**

Wrought iron fencing is required along the rear yards on all of the lots in Enchanted Hill. All side yards which face common areas or the golf course must also be wrought iron. All fencing shall have a level top with a maximum 12" step to the next level.

Design shall be the Castle Hills 6-foot-high fence (see detail below). The wrought iron on the rear of a lot shall be returned along the side lot line to a minimum of the required rear yard





setbackline. 18"X18" stone columns shall be constructed at all transitions of fencing types.

## **RETAINING WALLS**

Retaining walls will be required on all lots where the front, side or rear slopes exceed 4 to 1, the party on the high side shall be responsible for the cost and installation of the retaining wall.

Retaining walls shall be designed, signed and sealed by a Structural Engineer. The construction of the retaining wall will be inspected and certified by the Structural Engineer including but not limited to date and time stamped photographs of piers, grade beam, wall, drain field, backfill, etc., at fifteen foot (15') intervals along the wall. A copy of the Inspection report and documentation shall be provided to the ARC.

In the event that a lot on the high side remains in the ownership of the Developer under Enchanted Hill Restrictive Covenants and a retaining wall is required for installation for a completed residence on the lower lot, then the Developer under the Enchanted Hill Restrictive Covenants may install the retaining wall and increase the sales price of the lot by the amount of the cost of the retaining wall.

In the event that the uphill lot is under contract, but not yet conveyed, then the low side builder shall notify the Developer under the Enchanted Hill Restrictive Covenants 120 days prior to the estimated completion to the low side residence. The Developer under the Enchanted Hill Restrictive Covenants shall then notify the builder of the uphill lot that is under contract and that builder will have 60 days to build the wall or the Developer under the Enchanted Hill Restrictive Covenants will build the wall in which case the lot price will be increased by the cost to build the wall, as determined by the Developer under the Enchanted Hill Restrictive Covenants in its sole discretion.

In the event that the low side is built first and the grading plan creates more of a wall obligation on the high side lot, as determined in the sole discretion of the Developer under the Enchanted Hill Restrictive Covenants or the ARC, as applicable, then the low side lot will be required to build the entirety of the high side wall.

All retaining walls shall be constructed of natural stone or clay fired masonry construction. No manufactured stone will be allowed for retaining walls.

**Wood or Railroad Tie wall construction is not permitted.**

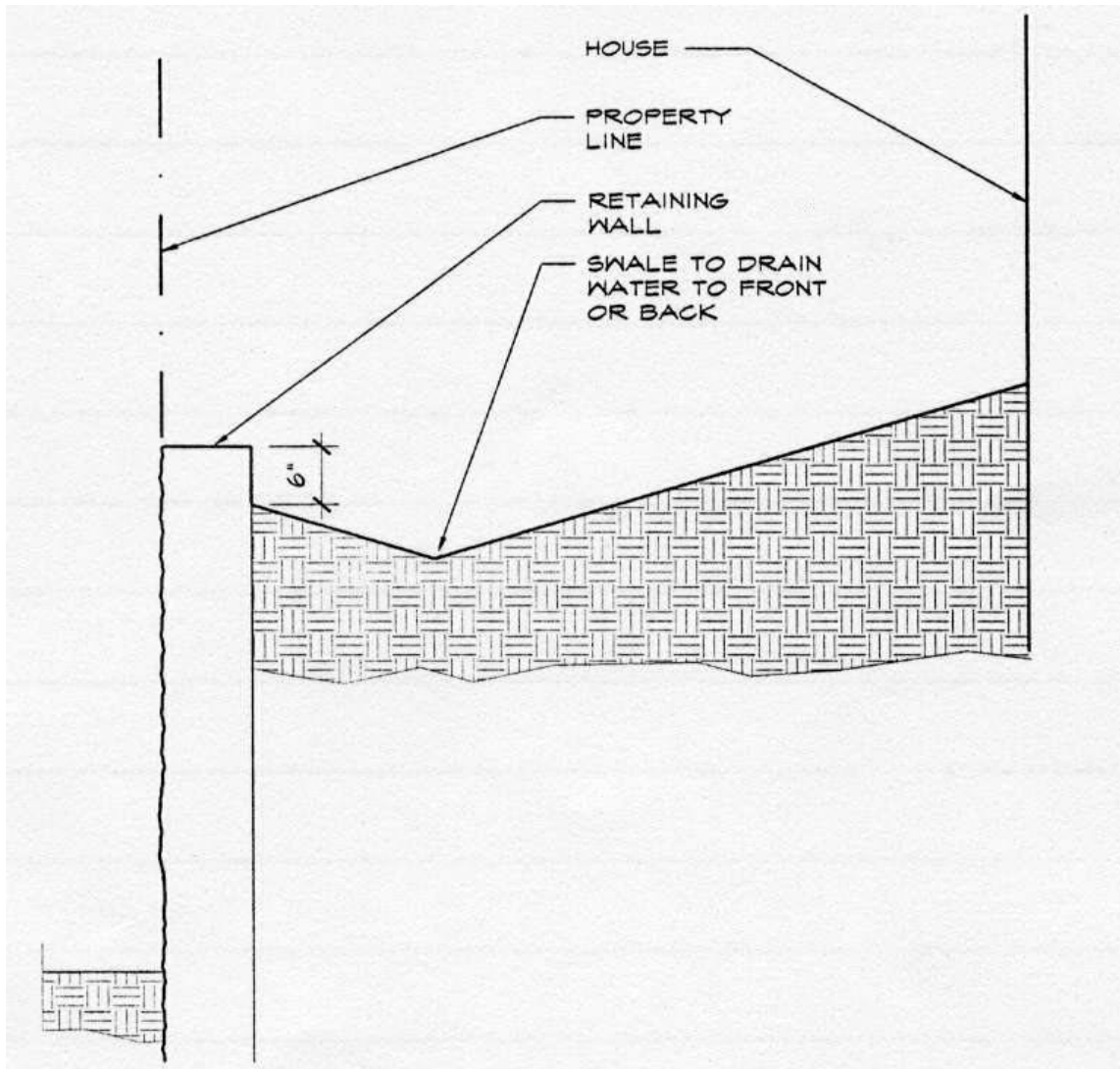
**Non - mortared, dry stack walls will not be permitted.**

**No concrete block walls are permitted.**

**All fence post must be pre-sleeved in the top of the walls at the time of construction and the wall shall be designed to accommodate the sleeves.**

The high side property owner shall have financial and maintenance responsibility for retaining walls between lots.

If a builder creates a grade separation greater than the one that presently exists, then he shall bear the financial responsibility for any wall required as a result of that grade adjustment.



**NEITHER THE DECLARANT UNDER THE MASTER DECLARATION, THE DECLARANT UNDER THE RESIDENTIAL ASSOCIATION RESTRICTIONS, THE DEVELOPER UNDER THE ENCHANTED HILL RESTRICTIVE COVENANTS NOR THE ARC WILL BE LIABLE TO ANY OWNER OR TO ANY OTHER PERSON FOR ANY LOSS, DAMAGE OR INJURY ARISING OUT OF THE PERFORMANCE OF THE**

## **ARC DUTIES UNDER THIS SECTION.**

### **LANDSCAPE**

#### **General Requirements**

- All landscape and hardscape plans shall be sealed and signed by a registered Landscape Architect.
- All irrigation plans shall be sealed and signed by a Licensed Irrigator.
- All plant sizing, spacing and specification shall conform to the American Standard for Nursery Stock as published by AmericanHort in ANSI Z60.1-2014 on April 14, 2014 or as maybe amended or updated.
- All areas outside of landscaped beds and hardscape shall be covered by sod.
- All areas shall be 100% irrigated.
- All required landscaping shall be completed prior to the issuance of a Certificate of Occupancy, unless expressly waived by the ARC with appropriate time frames, conditions and guarantees.

#### **Parkway Landscaping**

- Each homeowner or builder shall comply with parkway tree plant requirements as delineated below.
- Plant trees centered within 6.5 feet parkway (between sidewalk and curb) at an average of 30'-0" o.c
- Utilize a single species of parkway tree designated below for each street.
- All parkway trees are to be a minimum 3 1/2" caliper, full and matched per species.
- Homeowner/builder is responsible for maintenance (watering, staking, fertilization and pruning) until time of occupancy and the homeowner is responsible for the maintenance and survival of the parkway trees. Should a parkway tree not match the other tree on the street for fullness, structure and condition, it shall be replaced with a tree of the appropriate species, caliper inches and fullness so as to match the existing trees on the lot or street.

#### **Residential Lot Landscaping**

- Each Residential Lot shall have a minimum of three 6” caliper canopy trees a minimum average height of 24’ to 26’ from the Parkway tree list and two ornamental trees (minimum 8-19 ft. in height) in the front yard. The ornamental trees permitted are listed below.
- A continuous evergreen, layered shrub planting is required along the foundation visible to streets, golf course *or common areas*. A minimum 5-7-gallon container size along with plant height and spread of shrub is required on the plans.
- No gravel or decomposed granite with desert plants are allowed.

## **PLANT MATERIALS LIST AND SPECIFICATIONS**

### **1. General Requirements**

#### Tree Size:

- 3 ½ minimum caliper inches measured with a diameter tape at a height of 12” from the base of the tree shall be an average of 14’ to 16’ tall with a trunk free of limbs for at least the lower 7’. A 65 gallon or 95/100-gallon container grown may be substituted for the 3 ½” balled and burlap tree; and,
- 6” minimum caliper inches measured with a diameter tape at 12” from the root collar, an average height of 24’-26’ and shall have the lower 7’ of trunk free of limbs.

#### Root Ball Size (if ball and burlap material or machine transplanted material used):

- Minimum 10-inch width for every caliper inch or portion thereof; and,
- A minimum ball depth of 60% of the diameter of the ball.

### **2. Species**

#### **A. Parkway Trees:**

Quercus shumardi – Red Oak – Silver Table Drive

Ulmus crassifolia – Cedar Elm – Excalibur Boulevard

Pistacia Chinensis – Chinese Pistache – Hollow Hill Lane

Ulmus Parvifolia – Drake Elm – Long Isles Lane

#### **B. Ornamental Trees:**

Lagerstroemia indica – multi-trunk Crape Myrtle

Cercis Canadensis ‘Ok. Palnora” – Ok. Redbud

Myrica cerifera – Wax Myrtle

Pyrus calleryana ‘Aristocrat’ – Aristocrat Pear

Ilex vomitora – multi-trunk Yaupon Holly

Cupressus sempervirens – Italian Cypress

Magnolia grandiflora “Little Gem” – Little Gem Magnolia

### **IRRIGATION**

- All irrigation systems shall include ET Controllers to prevent system operation during or within 24 hours of a rain event and/or when air temperatures fall below 34 degrees F.

### **TREE LIGHTING**

- Down lighting is required in the required front yard trees.
- The lighting shall be on photo-electric cell control so that they will come on at dusk and remain on until sunrise.

### **LANDSCAPE/ DRAINAGE CERTIFICATION**

Subsequent to the completion of all hardscape, landscape and irrigation, the professional that prepared the approve grading and drainage plan shall survey the yard areas and prepare a scaled “As Built” plan with dimensions, directional flow arrows and elevations certifying compliance with the approved grading plan for the Residential Lot. The certification plan shall be sealed, signed and dated by the professional performing the survey.

### **SCREENING**

- All outdoor equipment including HVAC and pool equipment must be screened from public view from the right-of-way, open space, golf course or adjoining estate by a six foot (6') board on board cedar fence or masonry wall matching the elevation of the home.
- All gas and electric meters must be screened with evergreen landscaping.
- All outdoor equipment must be set back from the front elevation a minimum of 20 ft.
- All plants used for screening shall be of a sufficient height and spread at the time of planting to fully screen the item(s) requiring screening.
- Iron fencing is not a screening fence.

### **GUIDELINES FOR SWIMMING POOLS ABOVE RETAINING WALLS**

Due to the natural topography in Castle Hills, many Residential Lots have retaining walls in order to provide more level building pads and yards. The weight of structures, including but not limited to homes, swimming pools, spas, accessory structures, etc., can exert excess pressure (“Surcharge”) on the retaining walls that may result in failures to those retaining walls. In order to reduce the Surcharge on retaining walls caused by swimming pools, the following guidelines for pool installations built on soil retained by retaining wall and as depicted on the exhibit below shall apply to all Residential Lots within Enchanted Hill:

1. The minimum depth of a pool shall be the depth of the water plus the thickness of the bottom of the pool (“D”).
2. The height of the retaining wall is measured from the ground at the face (“low side”) of the wall to the top of the cap (“H”).
3. The offset distance (“X”) is measured from a line extended straight up from the face of the wall where it contacts the soil to outer edge of the wall of the pool. In no case shall the offset distance be less than the rear yard and/or side yard setbacks established in the these Design Guidelines.
4. The depth of the footer or base of the wall (“Footer” or “F”) varies depending on the height of the wall. The Footer is measured from the point where the face of the wall contacts the soil straight down to the bottom of the base. Below is a table of typical Footer depths relative to the wall heights for use in cases where the actual depth of the Footer is unknown.

<b>Wall Height in feet</b>	<b>Footer Depth in feet</b>
1-4	1
5-7	2
8-10	3

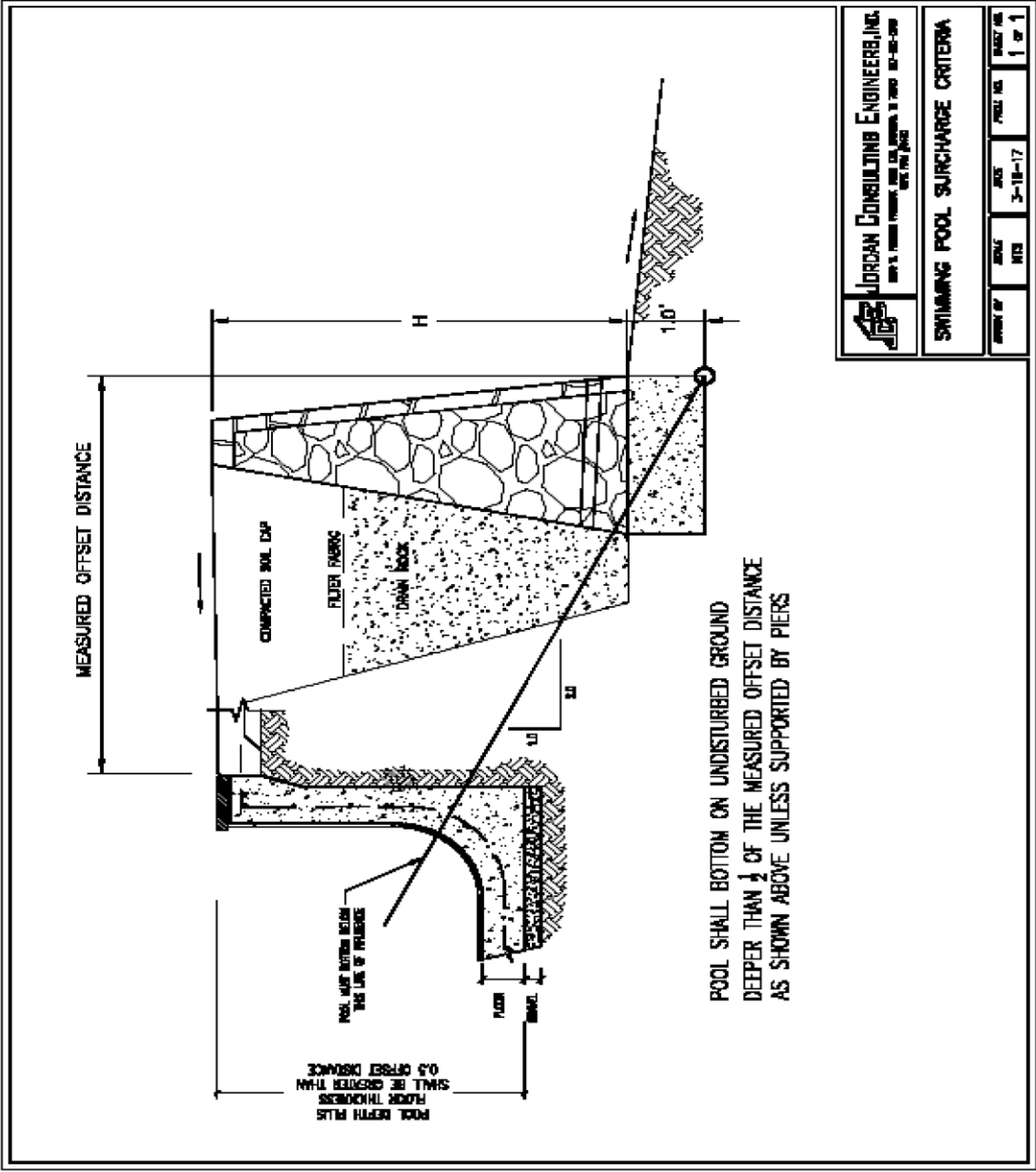
5. Because the effect of Surcharge is greater the taller the retaining wall, a structural engineer should determine the appropriate Footer for taller walls.
6. The bottom of the pool must set on undisturbed or compacted soil that is deeper than the line of influence as depicted in the attached exhibit. The minimum required depth of the pool can be calculated using the following equation:

$$D = (H+F) - 1/2X$$

For a 4' retaining wall the equation would be

$$D = (4' + 1') - 1/2 \times 5'$$
$$D = 5' - 2.5'$$
$$D = 2.5'$$

7. If D is not below the line of influence, then the pool must be built on piers or the Offset must be increased until the bottom is below the line of Influence.
8. Gravel or sand pockets below concrete bottom of the pool do not count as a part of D.
9. The design of all pools must be done by structural engineers or pool designers.



POOL SHALL BOTTOM ON UNDISTURBED GROUND  
 DEEPER THAN  $\frac{1}{4}$  OF THE MEASURED OFFSET DISTANCE  
 AS SHOWN ABOVE UNLESS SUPPORTED BY PIERS



**JORDAN CONSULTING ENGINEERS, INC.**  
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**SWIMMING POOL SURCHARGE CRITERIA**

PROJECT NO.	DATE	PROJECT NO.	DRAWING NO.
	3-18-17		1 OF 1