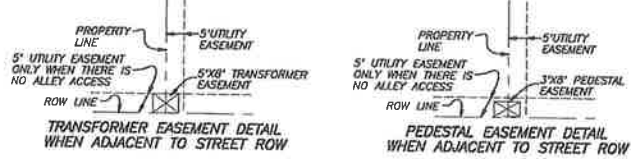
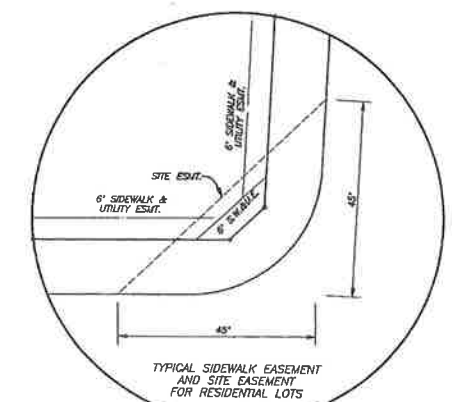


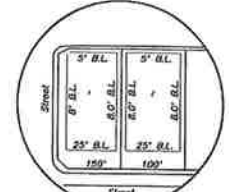
NOTES FOR HOME OWNER'S / HOME BUILDERS:

1. MAXIMUM ALLOWED DRIVEWAY SLOPE WITHIN RIGHT-OF-WAY/SIDEWALK EASEMENT IS TO BE 8.0%. MAXIMUM ALLOWED DRIVEWAY SLOPE BEYOND RIGHT-OF-WAY/SIDEWALK EASEMENT IS TO BE 14.0%. MAXIMUM SIDEWALK CROSS SLOPE SHALL BE 2.0%. ALL CONSTRUCTION SHALL FOLLOW CITY OF LEWISVILLE STANDARDS.
2. IT SHALL BE THE RESPONSIBILITY OF THE HOME BUILDERS, LOT OWNERS, AND THE HOME OWNER'S ASSOCIATION TO ESTABLISH AND MAINTAIN THE OFF-STREET DRAINAGE PATTERNS AS REFLECTED ON THE APPROVED CIVIL DRAWINGS FOR CASTLE HILLS PHASE III SECTION C. NO LOT TO LOT DRAINAGE SHALL BE ALLOWED. AREAS MARKED ON THE FINAL PLAT AS "DRAINAGE EASEMENT" AND/OR "POSITIVE OVERFLOW EASEMENT" ARE TO REMAIN CLEAR OF ALL OBSTRUCTIONS AT ALL TIMES. ALL CONSTRUCTION SHALL FOLLOW CITY OF LEWISVILLE STANDARDS.



SETBACKS FOR MAIN DWELLING UNIT
 There shall be a front yard setback having a depth of not less than 25 feet from the lot line. Where lots have a double frontage, running through from one street to another, the required front yard shall be provided on both streets.
 There shall be a side yard setback from the lot line on each side of the lot having a width of not less than ten percent of the lot width or a minimum of six and one-half feet, whichever is greater, up to a maximum setback of eight feet. This shall include lots adjacent to streets. Where a lot has an easement along a side of the lot, and the easement is greater than eight feet, the setback will equal the easement width.
 There shall be a rear yard setback from the lot line having a depth of not less than five feet. If the garage entry is from the alley and the entry side of the garage faces the alley, the garage must be set back twenty (20) feet.

SPECIAL SETBACKS FOR ACCESSORY BUILDINGS
 Accessory buildings (garage, storeroom, utility building, cabana, servant's quarters, or similar structures) shall be located on the rear one-half of the lot.
 Rear and side yard setbacks for accessory buildings shall be three feet, except on side yards adjacent to a street where the main dwelling unit setback shall apply.
 If the entry side of a garage faces the rear or alley side of a lot, or an adjacent side street, then the setback for the garage shall be twenty feet. An accessory building must be 10 feet back from the main build or provide fire related construction as required by the building code. An accessory building may be connected to the main building with a breezeway that is open on two (2) sides. A detached building shall be considered an accessory building.

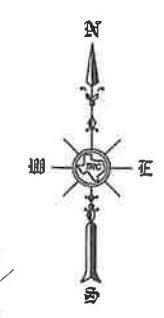


TYPICAL MINIMUM BUILDING SETBACKS SEE NOTES THIS SHEET FOR MORE DETAILED INFORMATION

STREET NAME CHANGE SYMBOL

CITY OF LEWISVILLE NOTES:
 This PLAT is subject to a list of variances per an agreement between the CITY OF LEWISVILLE and CASTLE HILLS DEVELOPMENT CORP. DATED: APRIL 1, 1996
 The maintenance of proposed improvements for this subdivision will be the responsibility of the DENTON COUNTY FRESH WATER SUPPLY DISTRICT NO. 1-D until such date that the city of LEWISVILLE annexes this subdivision per above said agreement.

LINE	BEARING	DISTANCE	CURVE	DELTA	RADIUS	CHORD BEARING	CHORD	LENGTH	TANGENT
C1	N55°59'39"E	45.89'	C1	30°07'32"	200.00'	N28°06'37"W	103.95'	105.16'	53.82'
L1	N68°39'49"W	15.00'	C2	10°15'41"	328.00'	N34°02'27"E	58.66'	58.74'	29.45'
L2	N21°20'11"E	68.74'	C3	18°28'54"	400.00'	N39°55'27"E	128.47'	129.03'	65.08'
L3	N35°14'42"E	8.33'	C4	11°05'49"	400.00'	N50°36'25"E	77.35'	77.47'	38.86'
L4	N33°05'09"W	16.31'	C5	5°27'37"	500.00'	N42°19'42"E	47.63'	47.65'	23.84'
L5	S33°05'09"E	13.55'	C6	5°55'22"	328.00'	N42°33'35"E	33.89'	33.91'	16.97'
L6	N45°11'31"E	15.00'	C7	17°01'36"	328.00'	N54°02'04"E	97.11'	97.47'	49.10'
L7	N42°48'14"W	12.64'	C8	17°48'06"	272.00'	N53°38'49"E	84.17'	84.51'	42.60'
L8	S42°48'14"E	15.65'	C9	36°29'24"	200.00'	S20°56'48"E	125.23'	127.37'	65.93'
L9	S30°26'43"W	102.33'	C10	39°49'31"	26.00'	N80°20'19"W	17.71'	18.07'	9.42'
L10	N30°26'43"E	131.73'	C11	39°49'31"	36.50'	S80°20'19"E	24.86'	25.37'	13.22'
L11	N56°24'06"W	38.91'	C12	39°49'31"	26.00'	S40°30'48"E	17.71'	18.07'	9.42'
L12	S56°24'06"E	38.52'	C13	39°49'31"	36.50'	N40°30'48"W	24.86'	25.37'	13.22'
L13	N49°16'40"W	5.74'	C14	18°23'31"	472.00'	N39°52'45"E	150.86'	151.51'	76.41'
L14	S49°16'40"E	6.09'	C15	29°32'08"	178.00'	S61°43'58"W	90.75'	91.76'	46.92'
L15	N52°45'18"E	96.19'	C16	24°51'46"	178.00'	N51°17'55"W	76.64'	77.24'	39.24'
L16	N52°45'18"E	38.38'	C17	24°15'53"	378.00'	S34°49'42"W	158.89'	160.08'	81.26'
L17	N40°50'07"W	11.19'	C18	12°58'40"	222.00'	S45°21'22"E	50.18'	50.28'	25.25'
L18	S40°50'07"E	10.57'	C19	13°54'31"	207.50'	N28°17'27"E	50.25'	50.37'	25.31'
L19	N52°45'18"E	49.91'	C20	17°34'44"	192.50'	N26°27'20"E	58.83'	59.06'	29.76'
L20	N45°15'13"W	7.46'	C21	43°22'50"	207.50'	N39°21'23"E	153.38'	157.11'	82.53'
L21	N49°09'53"E	15.00'	C22	37°45'35"	192.50'	S36°32'45"W	124.58'	126.86'	65.63'
L22	N45°15'13"W	19.92'	C23	4°57'20"	207.50'	N20°08'38"E	17.94'	17.95'	8.98'
L23	S45°15'13"E	172.70'	C24	12°16'07"	207.50'	N54°54'45"E	44.36'	44.43'	22.30'
L24	N49°09'53"E	125.62'	C25	30°36'05"	192.50'	N45°44'46"E	101.60'	102.81'	52.66'
L25	S40°50'07"E	15.00'	C26	9°34'17"	207.50'	N35°13'52"E	34.62'	34.66'	17.37'
L26	S54°45'18"E	5.02'	C27	4°01'39"	192.50'	N32°27'33"E	13.53'	13.53'	6.77'
			C28	22°23'24"	192.50'	S48°38'49"W	74.75'	75.23'	38.10'
			C29	29°23'48"	207.50'	N45°08'37"E	105.30'	106.46'	54.43'
			C30	19°44'10"	207.50'	N49°58'27"E	71.12'	71.48'	36.10'
			C31	30°31'18"	192.50'	N44°34'53"E	101.34'	102.54'	52.52'
			C32	8°01'20"	207.50'	N33°19'54"E	29.03'	29.05'	14.55'
			C33	23°26'04"	192.50'	N41°02'16"E	78.19'	78.73'	39.93'
			C34	23°26'04"	207.50'	N41°02'16"E	84.28'	84.87'	43.04'
			C35	13°39'31"	192.50'	N55°59'39"E	45.78'	45.89'	23.05'



All boundary corners shown herein are marked with 1/2" iron rods.

NOTE: ALL COMMON AREAS TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION (HOA) AND OWNED BY WATER DISTRICT

OWNER/APPLICANT
 CASTLE HILLS DEVELOPMENT CORP.
 4228 NORTH CENTRAL EXPRESSWAY
 SUITE 300
 DALLAS, TEXAS 75206-6534
 PH. 214-559-9200 FAX 214-559-0021 CONTACT: HAL B. JONES P.E., R.P.L.S. PH. 214-369-9171 FAX 214-696-3795

ENGINEER
 TRC Texas Infrastructure
 (a division of TRC Engineers, Inc.)
 8140 WALNUT HILL LANE
 SUITE 500
 DALLAS, TEXAS 75231-4350
 CONTACT: HAL B. JONES P.E., R.P.L.S. PH. 214-369-9171 FAX 214-696-3795

DEVELOPER/DISTRICT
 DENTON COUNTY FRESH WATER SUPPLY DISTRICT NO. 1-D
 LEONARD HURT FROST & LILLY
 600 NORTH PEARL STREET SUITE 900
 DALLAS, TEXAS 75201-2872
 CONTACT: TOM LEONARD PH. 214-954-6300 FAX 214-954-6386

FINAL PLAT CASTLE HILLS PHASE III SECTION C

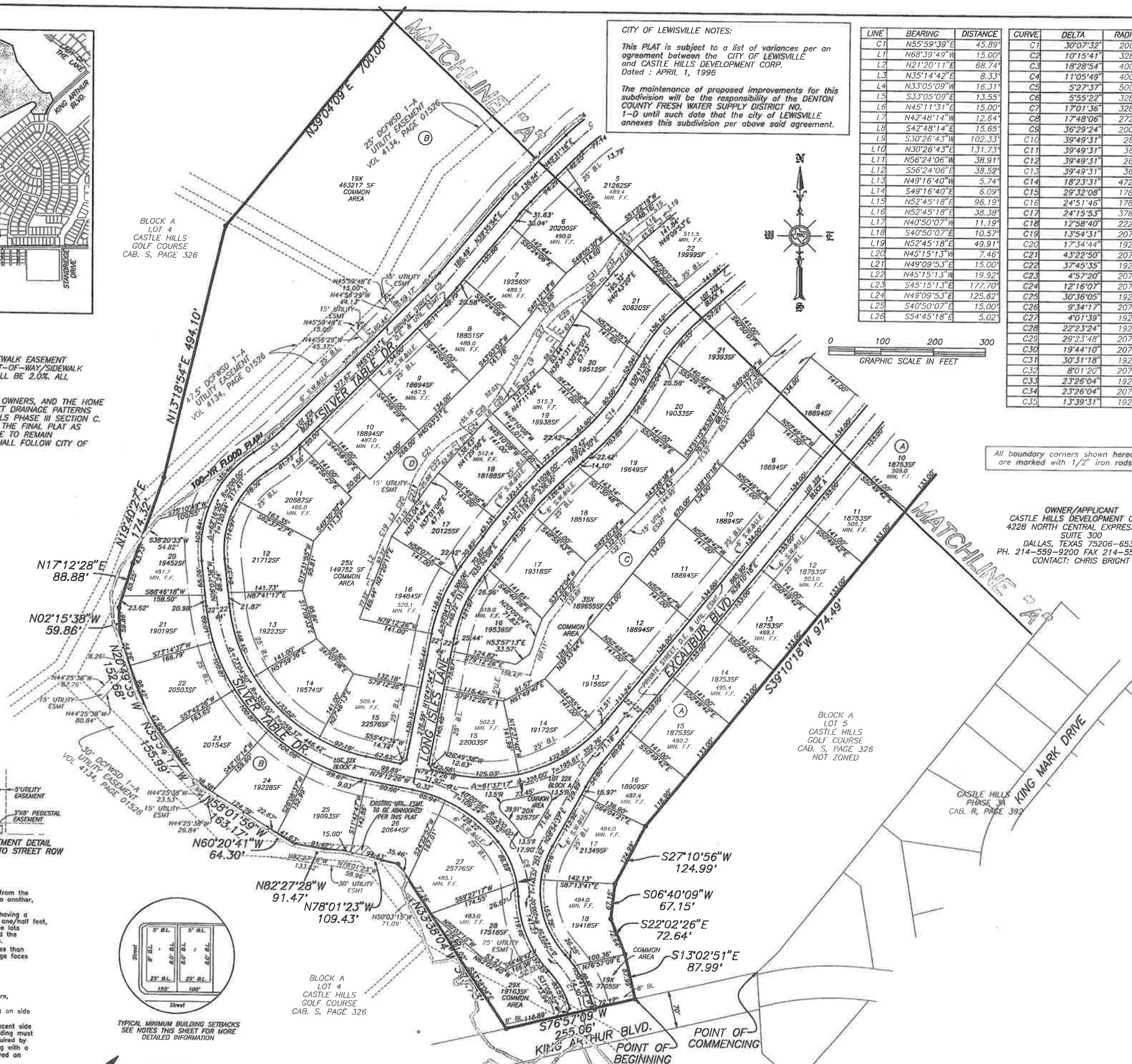
76.6848 ACRES
 111 TOTAL LOTS DESIGNATED "T" TOWNE ESTATE

100 RESIDENTIAL LOTS
 BLOCK A LOT 1, LOTS 3-18
 BLOCK B LOTS 1,2, LOTS 4-14, 16-18, LOTS 20-28, BLOCK C LOTS 1-34
 BLOCK D LOTS 1-24

11 COMMON AREA LOTS
 BLOCK A LOTS 2X, 19X-22X
 BLOCK B LOTS 3X, 15X, 19X, 22X
 BLOCK C LOT 35X
 BLOCK D LOT 25X

CITY OF LEWISVILLE ETJ,
 DENTON COUNTY, TEXAS
 out of the
 JAMES DOOLEY SURVEY
 ABSTRACT # 343

7500 SF MIN LOT SIZE REQUIRED
 2500 SF MIN LOT SIZE PROVIDED
 2500 SF MIN UNIT SIZE REQUIRED
 2500 SF MIN UNIT SIZE PROVIDED
 1.45 LOTS PER ACRE
 1.30 UNITS PER ACRE



BLOCK A LOT 5 CASTLE HILLS GOLF COURSE CAB. S, PAGE 326 NOT ZONED

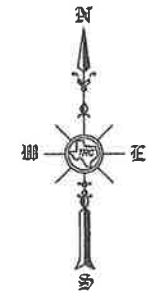
CASTLE HILLS PHASE 3A CAB. R, PAGE 392

BLOCK A LOT 4 CASTLE HILLS GOLF COURSE CAB. S, PAGE 326

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L4	N33°05'09"W	16.31'	C5	5°27'37"	500.00'	N42°19'42"E	47.63'	47.63'	23.84'
L5	S33°05'09"E	13.55'	C6	5°55'22"	328.00'	N42°33'35"E	33.89'	33.91'	16.97'
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L19	N52°45'18"E	49.91'	C20	17°34'44"	192.50'	N26°27'20"E	58.83'	59.06'	29.76'
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C28	22°23'24"	192.50'	C28	22°23'24"	192.50'	S48°38'49"W	74.75'	75.23'	38.10'
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C31	30°31'18"	207.50'	C31	30°31'18"	207.50'	N44°34'53"E	101.34'	102.54'	52.52'
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C33	23°26'04"	192.50'	C33	23°26'04"	192.50'	N41°02'16"E	78.19'	78.73'	39.93'
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 CONTACT: CHRIS BRIGHT

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**FINAL PLAT
 CASTLE HILLS
 PHASE III SECTION C**

76.6648 ACRES
 111 TOTAL LOTS
 DESIGNATED "IE"
 TOWNE ESTATE

100 RESIDENTIAL LOTS
 BLOCK A LOT 1, LOTS 3-18
 BLOCK B LOTS 1,2, LOTS 4-14, 16-18,
 LOTS 20-28, BLOCK C LOTS 1-34
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11 COMMON AREA LOTS
 BLOCK A LOTS 2X, 19X-22X
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 BLOCK C LOT 35X
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CITY OF LEWISVILLE ETJ,
 DENTON COUNTY, TEXAS
 out of the
 JAMES DOOLEY SURVEY
 ABSTRACT # 343

7500 SF MIN LOT SIZE REQUIRED
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All boundary corners shown herein are marked with 1/2" iron rods.

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